

Land and Buildings at Sysonby Lodge Farm

Melton Mowbray. LE13 0NX - approximately 143 acres (57.87 Ha)





Sysonby Lodge Farm

Nottingham Road, Melton Mowbray,
Leicestershire, LE13 0NX

A mix of accomplished Grade 2 & 3 arable fields, enclosed by well-maintained mature hedgerows set in approximately 143 acres (58.7 Ha)

Well-positioned on the Nottingham Road with a versatile range of agricultural buildings that may be suitable for conversion and alternative use subject to any required planning or other consents.

Oakham 12 miles, Nottingham 19 miles

For sale as a whole or 2 Lots.

Lot 1 - 122.66 acres & buildings - £600,000

Lot 2 - 20.78 acres - £20,000

Guide Price as a whole £800,000

Situation

Sysonby Lodge Farm is located just outside the historic market town of Melton Mowbray with direct access from the Nottingham Road.

The Farmland

The land comprises of 8 separate parcels of arable land, which total approximately 143.44 acres (58.04 hectares). This land adjoins and neighbours the farm buildings at Sysonby Lodge Farm and is accessed (along with the farm buildings) via Nottingham Road. There is additional access running along the side of Gorse Lane for Lot 1.

The land has an Agricultural Land Classification of Grade 2 & 3 (Good to Moderate). The soil is characterised by slowly permeable and seasonally wet, but a base-rich loamy and clayey soil with good fertility.

Viewings

Strictly by confirmed appointment with the vendor's agent, Shouler & Son of Melton Mowbray. To arrange a viewing please telephone Oli Arnold on 07706 312229 or Ben Shouler on 01664 502950. Please note, viewing is at your own risk and neither Shouler & Son nor the vendor take any responsibility for any losses or damages incurred during inspection.

Method of Sale

The freehold property is offered for sale by private treaty as a whole, or in 2 lots.

Please note, Sysonby Lodge Farm land is currently managed under a contract farming agreement, which will cease following harvest 2026 and give vacant possession. Further details are available from the vendor's agent upon request.

Services

Private drainage system, mains electricity (single-phase), mains water.

Wayleaves, Easements and Rights of Way

The land and buildings are sold subject to and with the benefit of all rights including, rights of way, whether public or private, light, support, drainage, water and electricity supplies and other rights and obligations, easements and quasi-easements and restrictive covenants and all existing and proposed wayleaves for masts, pylons, stays, cables, drains, water and gas and other pipes whether referred to in these particulars or not.

There are five telegraph poles with overhead electricity lines situated within the land. The telegraph pole nearest the main farm track has a transformer.

A phone mast is located in the southwestern corner of Parcel 9185.

There is a public footpath that commences at the farm entrance and runs through the yard & parcels 9185 & 9913.

The southern farm entrance (closest to the property) will be retained as shared access until the new access provisions have been concluded to the vendors retained property.

Basic Payment

There are no delinked payments available to the buyer.

Environmental Schemes

The land has not been entered into any environmental land management schemes.



Cropping

Field Parcel	Acreage	25/26	24/25	23/24
<u>Lot 1</u>				
9913	32.12	Wheat	Wheat	Wheat
2909	20.44	Wheat	Wheat	Wheat
4595	34.05	Wheat	Wheat	Wheat
1983	8.45	Wheat	Wheat	Wheat
0771	7.98	Wheat	Wheat	Wheat
9185	19.62	Wheat	Wheat	Wheat
<u>Lot 2</u>				
7464	7.54	Wheat	Wheat	Wheat
6542	13.24	Wheat	Wheat	Wheat

(Prior to 2023, all fields were permanent pasture)

The vendor reserves the right to hold over the crop on all parcels until completion of harvest 2026, following which full vacant possession will be given.

Designations

The land is situated in a Nitrate Vulnerable Zone (NVZ).

Overage

The property will be subject to an overage of future non-agricultural development, which will also apply to the future use of the land for natural capital schemes that enable development elsewhere, such as Biodiversity Net Gain. The overage will not apply to any planning permissions granted or development or use in connection with agriculture. The rate will be 30% for 30 years from the completion date. The grant of planning permission or a conservation covenant/agreement/planning agreement will be a trigger event for the overage.

Sporting, Timber and Mineral Rights

All timber and sporting rights are included in the freehold sale in so far as they are owned. Them in seam and minerals together with ancillary powers of working are excepted.

Local Authority

Melton Borough Council (unitary authority) <http://www.melton.gov.uk/>

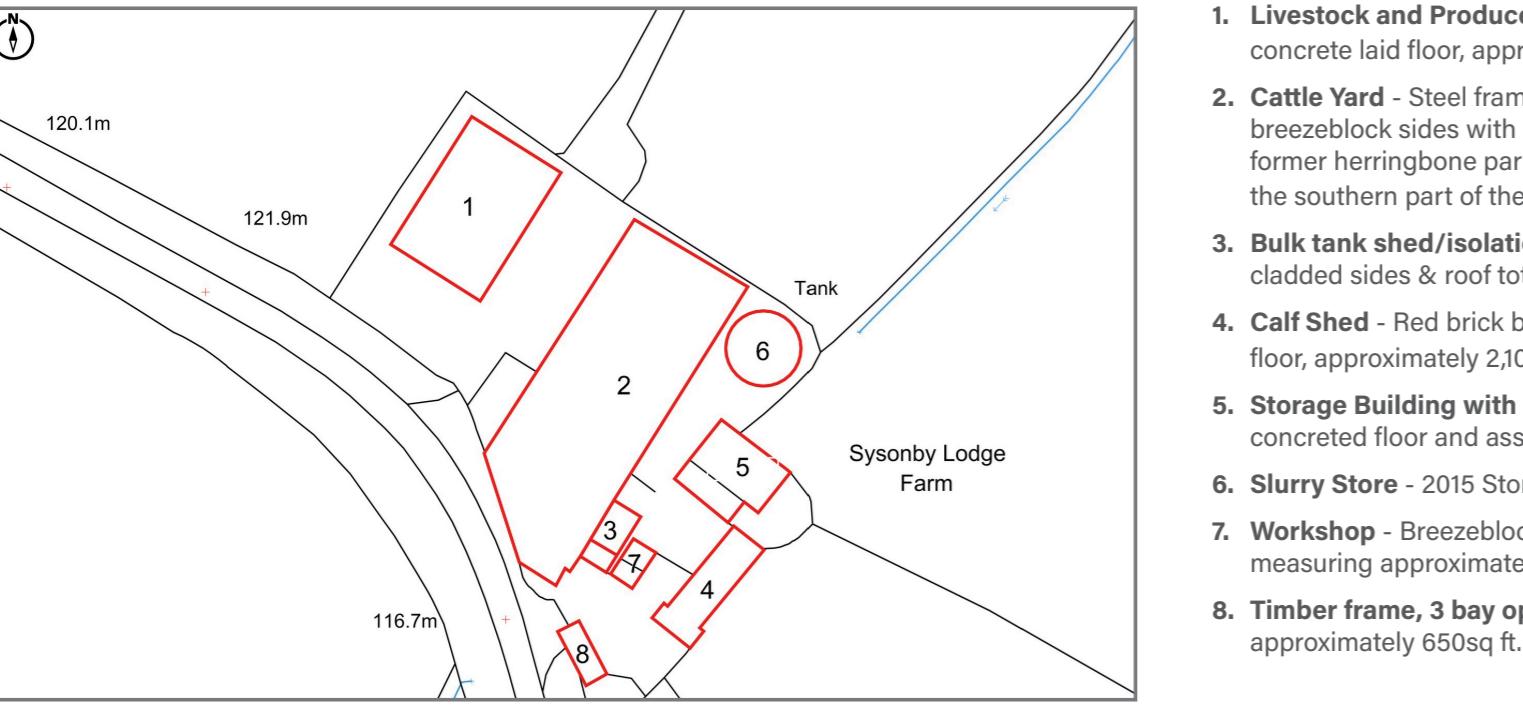
VAT

Any guide price quoted or discussed is exclusive of VAT. In the event that a sale of the land, or any part of it, or any right attached to it, becomes a chargeable supply for the purposes of VAT such tax will be payable in addition.

What3Words Access Point

danger.from.dirt

The Farm Buildings



1. **Livestock and Produce Building** - Steel portal frame with part concrete laid floor, approximately 6,500sq ft.
2. **Cattle Yard** - Steel framed building with wooden sleeper and breezeblock sides with mixed cladding above, fully concreted floor. The former herringbone parlour (apparatus has been removed) is situated in the southern part of the building. Approximately 19,500sq ft.
3. **Bulk tank shed/isolation pen** - Breezeblock sides with aluminium cladded sides & roof totalling approximately 900sq ft.
4. **Calf Shed** - Red brick building with assumed asbestos roof, concrete floor, approximately 2,100sq ft.
5. **Storage Building with Lean to** - Timber framed building with concreted floor and assumed asbestos roof, approximately 2,800sq ft.
6. **Slurry Store** - 2015 Storth Storage Tank, 240,000-gallon capacity.
7. **Workshop** - Breezeblock sides with aluminium cladded sides measuring approximately 200sq ft.
8. **Timber frame, 3 bay open fronted shed** - with concrete floor approximately 650sq ft.



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Shouler & Son for themselves and the vendors/lessors of this property whose agents they are give notice that:-

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5. Site plans and floor plans are for guidance purposes only and are not to scale.

AGENT'S NOTE

Any reference to the use or alterations of any part of the property does not imply that the necessary planning, building regulations or other consents have been obtained. It is the responsibility of a purchaser or lessee to confirm that these have been dealt with properly and that all information is correct.

Photographs are also provided for guidance purposes only. Contents, fixtures & fittings are excluded, unless specifically mentioned within these sales particulars.

